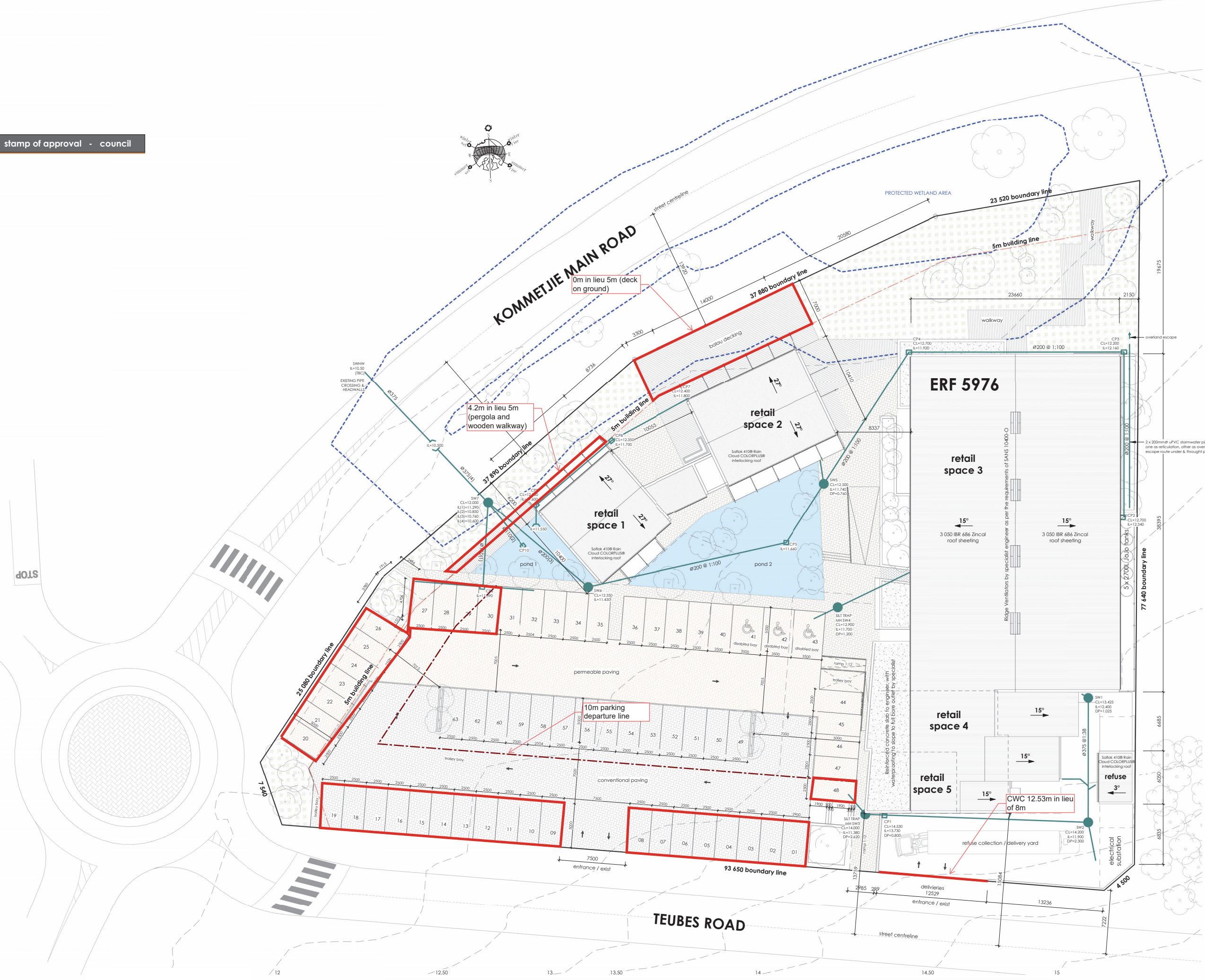


stamp of approval - council



locality plan



general - take note

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signature

owner:

other:

16.08.2023	00	munic drawings	fvd

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06265 | westerngroupproperties | ERF 5976

The Milkwoods Centre

project	house owner - ERF 5976
	teubes road
	kommetjie
retail 1 & 2	292m ²
retail 3, 4 & 5	1220m ²
refuse	24m ²
footprint	1536m ²
site coverage	5474m ²
zoning	28% GB1
pergolas	95m ²
timber decking	220m ²
GLA	1340m ²
parking bays	63 bays

sheet info

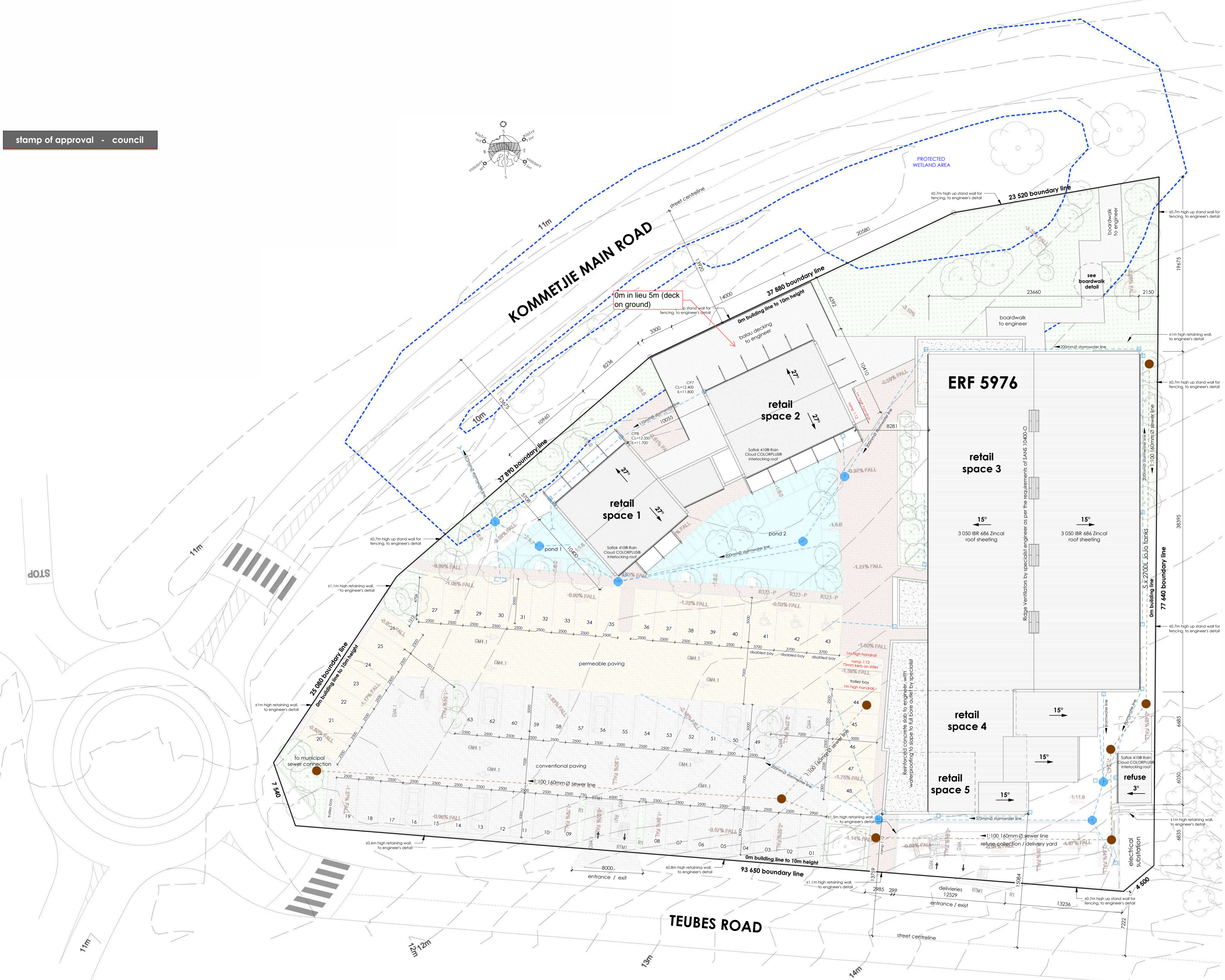
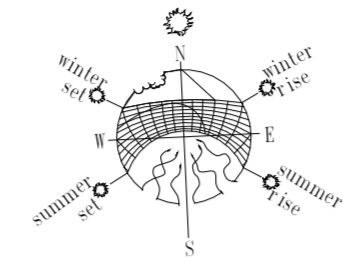
title	site plan
date	august 2023
scale	as shown @ A1
drawn	f van dijk
checked	s campbell
stage	council sub

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scale | 1:200

DEPARTURE PLAN

stamp of approval - council



locality plan



general - take note

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owner:

 other:

 02 07 2025 00 munic drawings fvd

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 Pr.Arch 61096478
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07040 | westerngruppereproperties | ERF 5976

The Milkwoods Centre

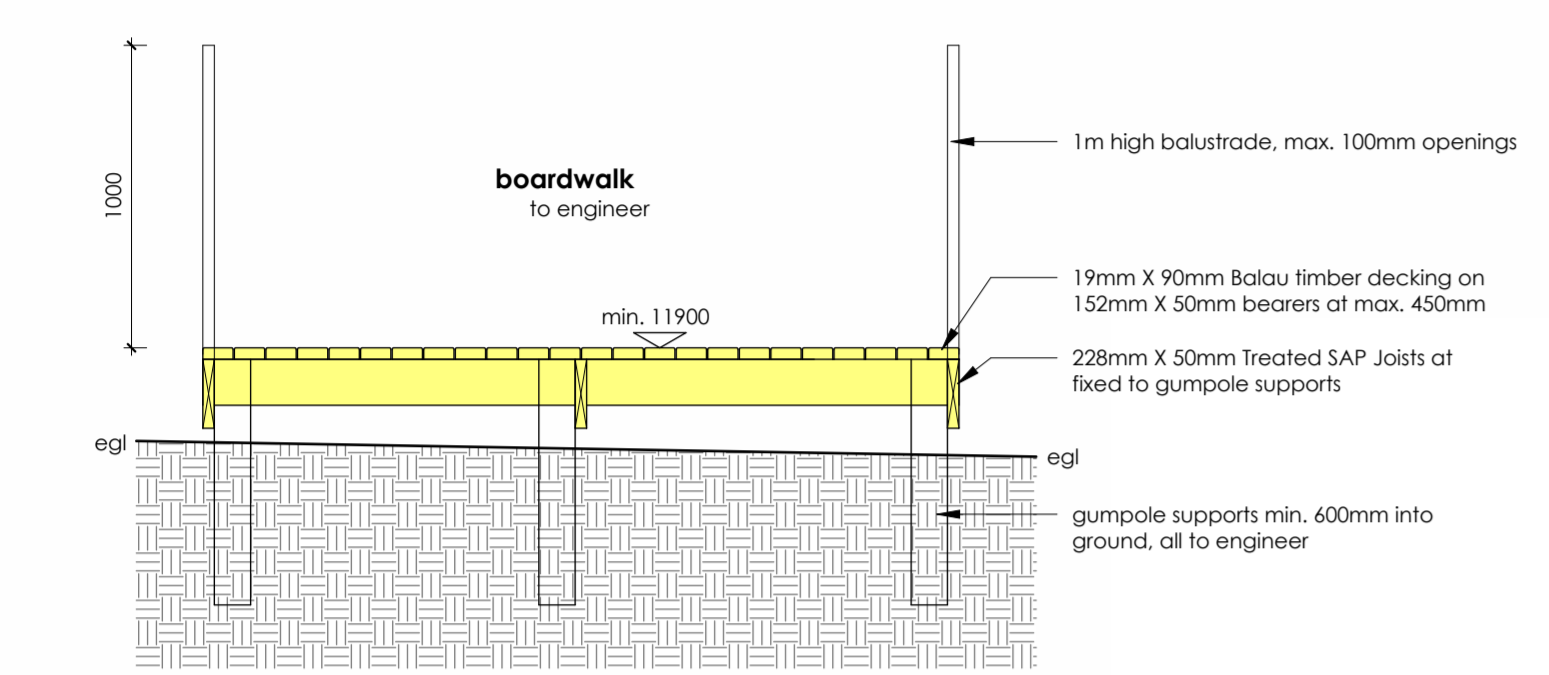
project	house owner - ERF 5976
	teubes road kometjie
retail 1 & 2	292m ²
retail 3, 4 & 5	1220m ²
refuse	24m ²
footprint site	1536m ²
coverage	5474m ²
zoning	28% GB1
pergolas	95m ²
timber decking	220m ²
GLA	1340m ²
parking bays	63 bays

sheet info

title	site plan
date	july 2025
scale	as shown @ A1
drawn	f van dijk
checked	s campbell
stage	council sub

Site Development Plan
 scale | 1 : 200

stamp of approval - council



deck/boardwalk detail
scale | 1 : 25

FENESTRATION RATIONAL DESIGN --- RETAIL SPACE 1

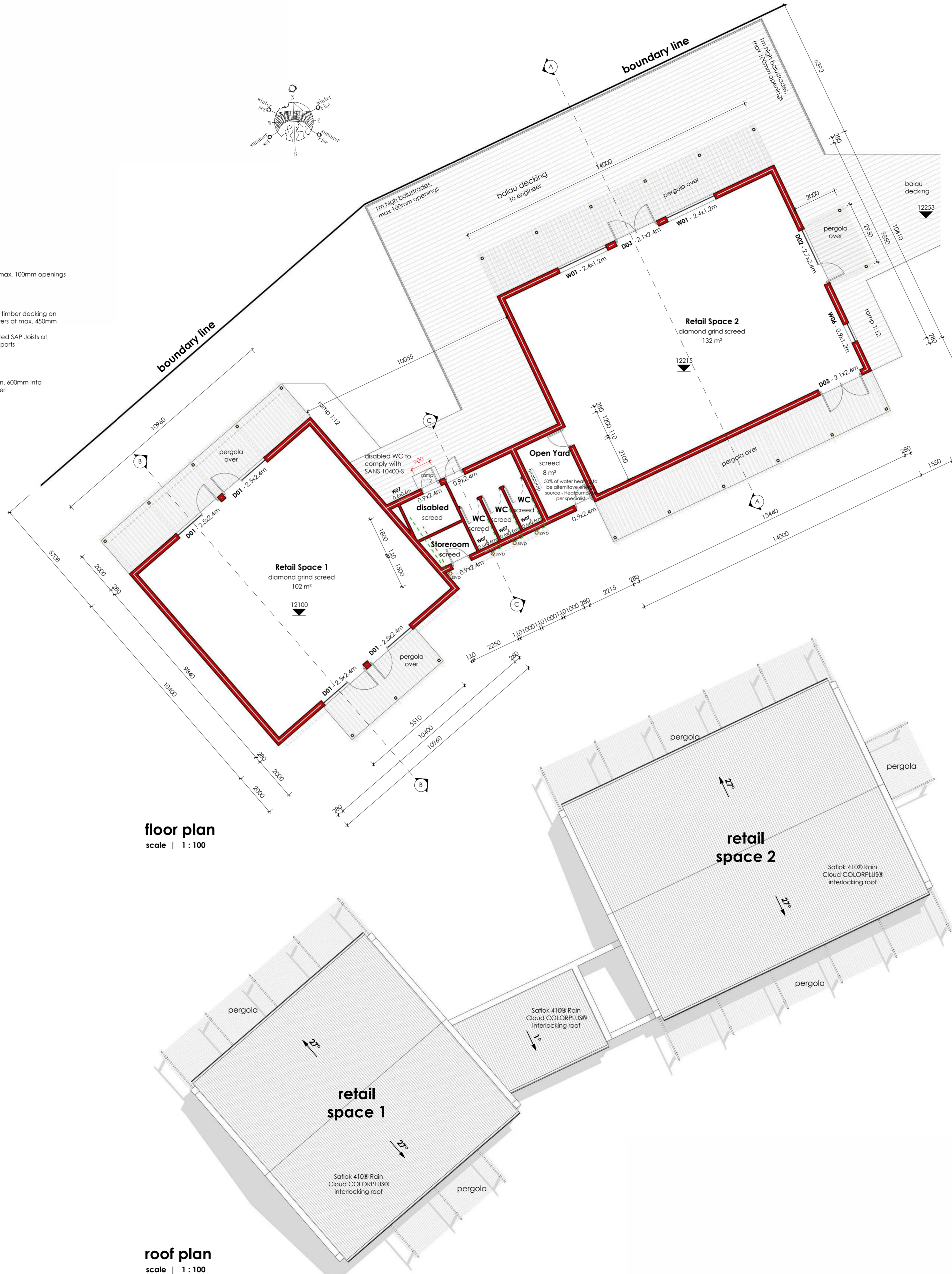
CLIMATIC ZONE		2	
STOREY	NET FLOOR AREA/m²	102	
WINDOWS		1	
TOTAL WINDOW AREA		12,00	
TYPE NR.	QUANTITY	WIDTH/m	HEIGHT/m
D01	4	2,5	2,4
SINGLE WINDOW AREA/m²		3,00	
ORIENTATION		North West	
ORIENTATION		North West	
ORIENTATION		South East	
ORIENTATION		South East	
TOTAL WINDOW AREA		12,00	
total fenestration area		Net Glazing % 11,76	
ORIENTATION		U-value	SHGC
south, south-east, south-west		Any Solution	Any Solution
north, north-east, north-west, east, west		Any Solution	Any Solution

FENESTRATION RATIONAL DESIGN --- RETAIL SPACE 2

CLIMATIC ZONE		2	
STOREY	NET FLOOR AREA/m²	102	
WINDOWS		4	
TOTAL WINDOW AREA		18,34	
TYPE NR.	QUANTITY	WIDTH/m	HEIGHT/m
D02	1	2,7	2,4
SINGLE WINDOW AREA/m²		6,48	
ORIENTATION		North East	
TYPE NR.	QUANTITY	WIDTH/m	HEIGHT/m
D03	2	2,1	2,4
SINGLE WINDOW AREA/m²		5,04	
ORIENTATION		North West	
ORIENTATION		South East	
TOTAL WINDOW AREA		5,04	
TYPE NR.	QUANTITY	WIDTH/m	HEIGHT/m
W01	2	2,4	1,2
SINGLE WINDOW AREA/m²		2,88	
ORIENTATION		North West	
ORIENTATION		North West	
TOTAL WINDOW AREA		5,76	
TYPE NR.	QUANTITY	WIDTH/m	HEIGHT/m
W05	1	0,9	1,2
SINGLE WINDOW AREA/m²		1,08	
ORIENTATION		North East	
TOTAL WINDOW AREA		1,08	
total fenestration area		Net Glazing % 13,91	
ORIENTATION		U-value	SHGC
south, south-east, south-west		Any Solution	Any Solution
north, north-east, north-west, east, west		Any Solution	Any Solution

floor plan
scale | 1 : 100

roof plan
scale | 1 : 100



specification - local authority

foundations
to be concrete strip foundations, minimum 750mm x 300mm and/or to engineer, internal non-loadbearing walls to have 600mm x 200mm slab thickening unless otherwise specified by engineer, foundations not to project beyond boundaries, water to be taken away from foundations & towards roadside, all column/pad foundations to engineers detail.

foundation walls
to have 2.5 he-wires per m² and cavity below dpc to be filled with concrete, provide expansion joints/lateral wall support every 5.5m as required, to engineers detail.

solid floors
tiles, carpet or timber on screed onto 100mm concrete slab on 250 mic dipm las joined, sealed and tamped up around the perimeter and for the full length of the slab on 50mm sand blinding on 150mm clean compacted fill.

structural components
all structural components to be designed and specified by structural engineer, appointed by client and/or contractor, all structural items to be inspected and approved by appointed engineer prior to closing or cover off work.

walls
to comply with SANS 10400-K, 280mm supporting wall with 50mm cavity, 1.5mm cement brickwork or equal applied with 2.5mm wire wall tie's per sqm of wall, stepped dpc to be provided to all external walls, all openings < 3000mm to have precast concrete lintels according to manufacturers spec. ex. allied concrete or equal approved, all openings > 3000mm to have rc beams to engineer where deemed necessary, provide expansion joints/lateral wall support every 5.5m as required, to engineers detail.

wall finishes
smooth plaster & painted grey.

internal walls
to comply with SANS 10400-K, 110mm & 190mm brickwork or equal approved, smooth plastered with 1 coat plaster, skimmed & painted, all colours to owner.

windows
all windows as per aluminium catalogue to be powder coated as per owner, all glazing to comply with requirements of SANS 10400N&XA, side lights to have safety glazing, windows lower 500mm from floor, windows lower than 1800mm above pitch line of stairs to be safety glass.

doors
all external doors as per aluminium catalogue to be powder coated as per owner, all external timber doors to be solid hardwood as per winsters door catalogue, painted to match aluminium doors, all glazing to comply with requirements of SANS 10400N&XA, access doors and side lights to have safety glass.

roof (lean-to roof)
see section notes, flashing and counter flashing to waterproofing specialist, use timber grade 5.

roof (lean-to roof)
see section notes, flashing and counter flashing to waterproofing specialist, use timber grade 5.

roof (concrete roof)
to strict engineers design and details, to have 40mm screed to fall towards full bore outlet and adequately waterproofed with derbigum sp4 system, concrete roof to be sufficiently insulated in accordance with SANS 10400 regulation.

ceilings
6.4mm rhinoboard ceiling boards, skimmed and painted, fixed to 38 x 38mm timber battens (50x38 at joints) @ 400mm c/c fixed to underside of trusses.

roof insulation
all roofs to be insulated so that a min. r-value of 3.7 is achieved (to comply with SANS 10400-XA:2021 - 5.6) insulation to be: glass wool blanket (isotherm or similar approved) with a density of 10 - 18 kg/m³ installed, thickness: min. 135mm r-value: min. 3.35

roof construction r-values
average r-value of roof structure - 0.35
reflective fall - 0.75
insulation r-value - 3.14
total r-value: - 4.24

conclusion - 135mm glass wool blanket to be installed between trusses/rafters.

concrete roof insulation
insulation to be: isoboard or similar approved stonechips onto 90mm isoboard onto torch-on waterproofing on screed to fall to outlets, onto lightweight rc slab to engineer.

concrete roof assembly - 0.57 (climatic zone 4),
insulation product - 3.429 (90mm isoboard)
total r-value: - 3.999

rainwater goods
125x85mm seamless aluminium o-gee gutters into 75mm uPVC downpipes where required.

joinery
all built in cupboards, vanity units and kitchen cupboards to owner/manufacturer design.

distribution/re-circulation/lighting
refer to electrical layout by owner/contractor, electrical installation to comply with local authority requirements and SANS 10142-1.

plumbing
installation to comply with local authority requirements and SANS 10400.
toilets - dual flush cistern with a 3L & 6L flush taps - max. flow rate of 6L/min
shower heads - max. flow rate of 7L/min
hand wash basins to have metering / demand taps

hot water cylinders
cylinders to plumbing contractor, to be supplied with fully drained drip tray and overflow pipe, all hot water pipes to be insulated min. R-value 1.00 and HWC to be insulated min. R-value 2.00 as per SANS 10400-XA.

natural ventilation
all habitable rooms to adhere to municipal regulations and SANS 10400 i.t.o. min. 5% of floor area.

natural light
all habitable rooms to adhere to municipal regulations and SANS 10400 i.t.o. up to 10% of net floor area per storey.

mechanical ventilation
to comply with municipal regulations and s.a.n.s. part a, extractor to make min. 10 air changes per hour & 25/s per person, to discharge to outside through wall, ducting constructed of non-combustible material, fan not to be connected to artificial lighting system but to remain on for period after w.c. and/or bathroom has been vacated.

drainage
installation to comply with NBR and SANS 10400-P, to be closed system of 81.10mm pvc pipes at min 1:40 and max. 1:40 fall, first inspection eye to be minimum 450mm below ground level, all vent pipes to be 50mm Ø pvc pipes, all heights pertaining to drainage to be checked and confirmed on site prior to installation, all bends to have min 600mm inside radius, all drains below building & driveway to be encased clean sand binding.

locality plan



general - take note

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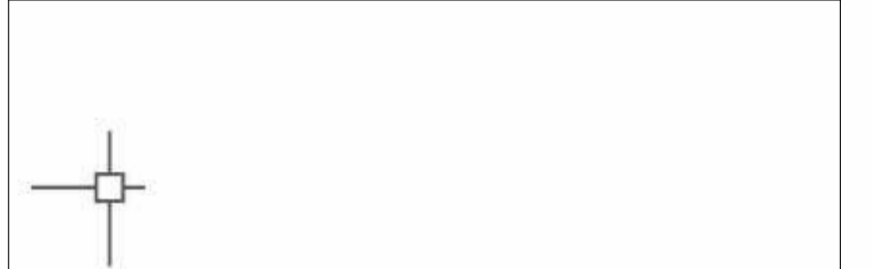
signature

owner:

other:

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07040 | westerngruppeproperties | ERF 5976

The Milkwoods Centre

project	house owner - ERF 5976
	teubes road
	kommetjie
retail 1 & 2	292m²
retail 3, 4 & 5	1220m²
refuse	24m²
footprint	1536m²
site	5474m²
coverage	28%
covering	GB1
pergolas	95m²
timber decking	220m²
GLA	1340m²
parking bays	63 bays

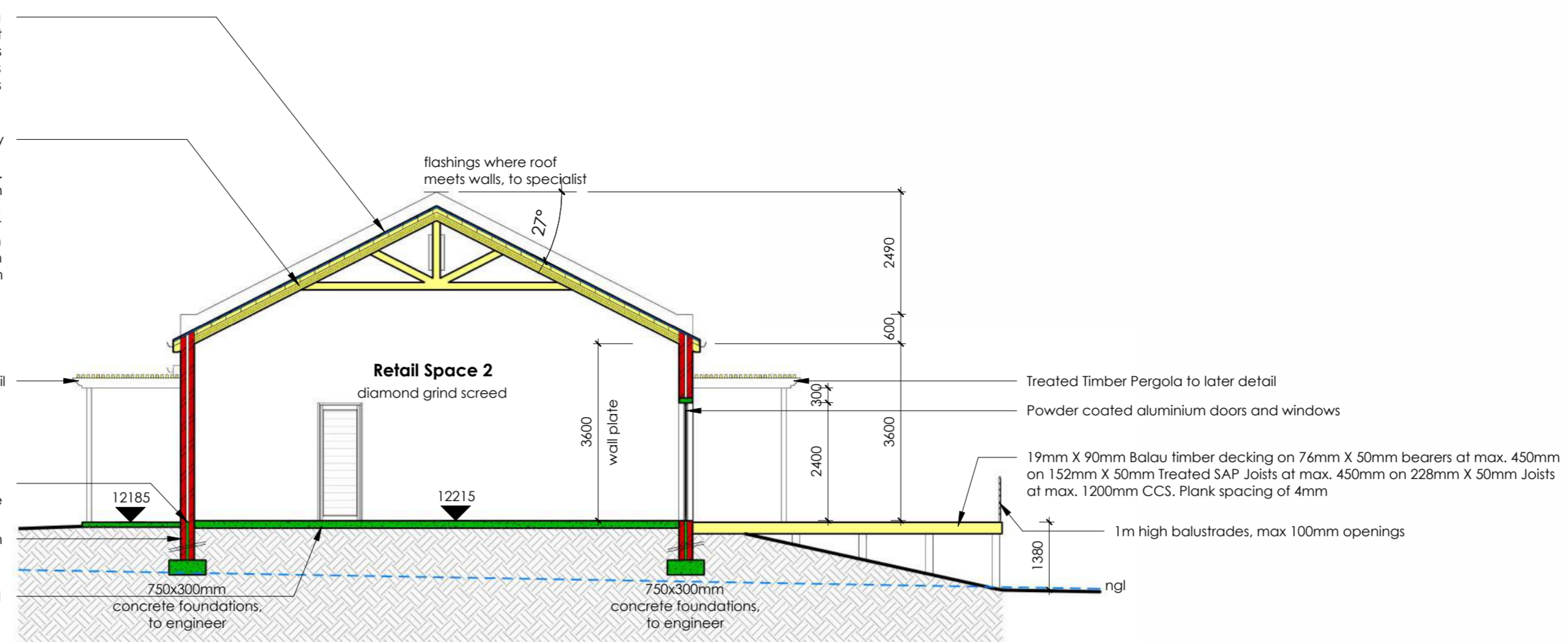
sheet info

title	Retail 1 & 2 floorplan roofplan
date	july 2025
scale	as shown @ A1
drawn	f van dijk
checked	s campbell
stage	council sub
these are municipal drawings only and may not be used as working drawings	
page	2 of 6

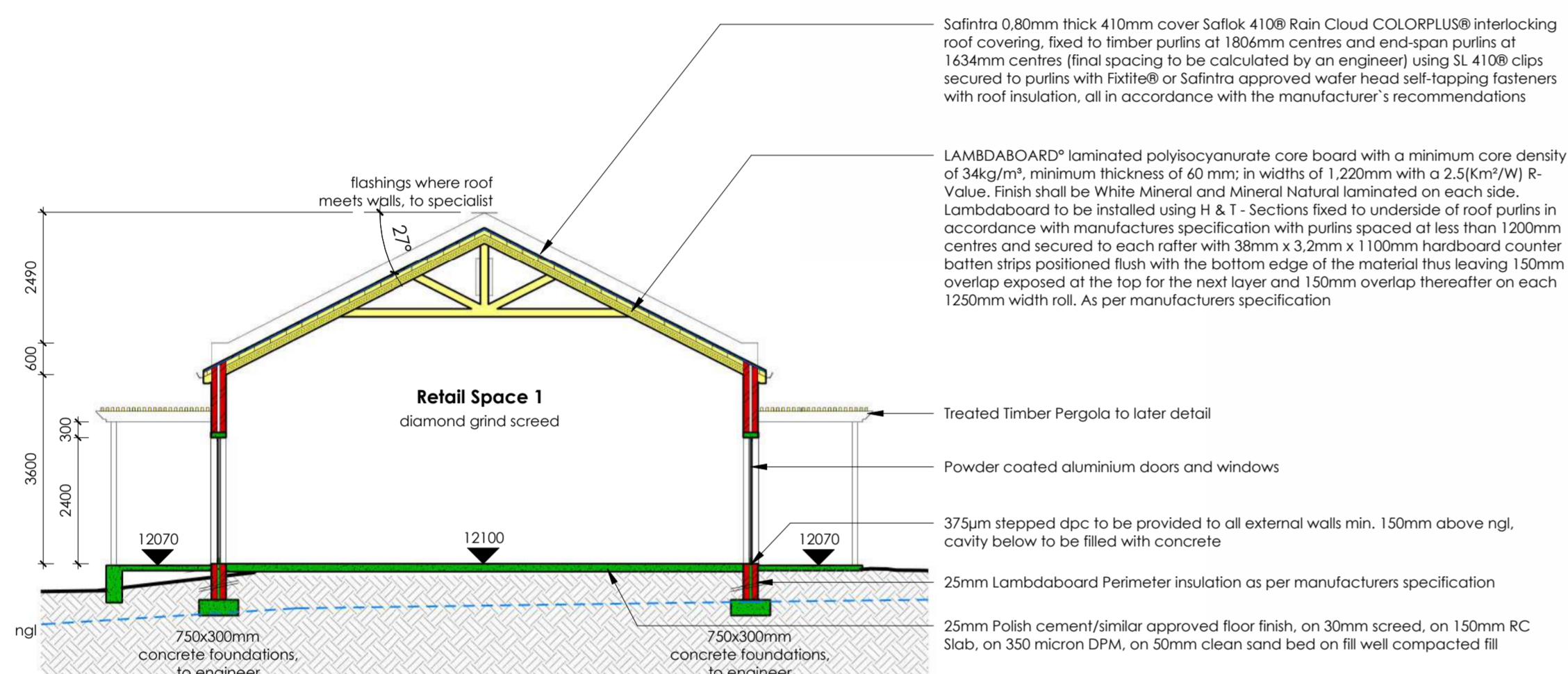
stamp of approval - council

Safintra 0.80mm thick 410mm cover Salflok 410® Rain Cloud COLORPLUS® interlocking roof covering, fixed to timber purlins at 1806mm centres and end-span purlins at 1634mm centres (final spacing to be calculated by an engineer) using SL 410® clips secured to purlins with Fittite® or Safintra approved water head self-tapping fasteners with roof insulation, all in accordance with the manufacturer's recommendations

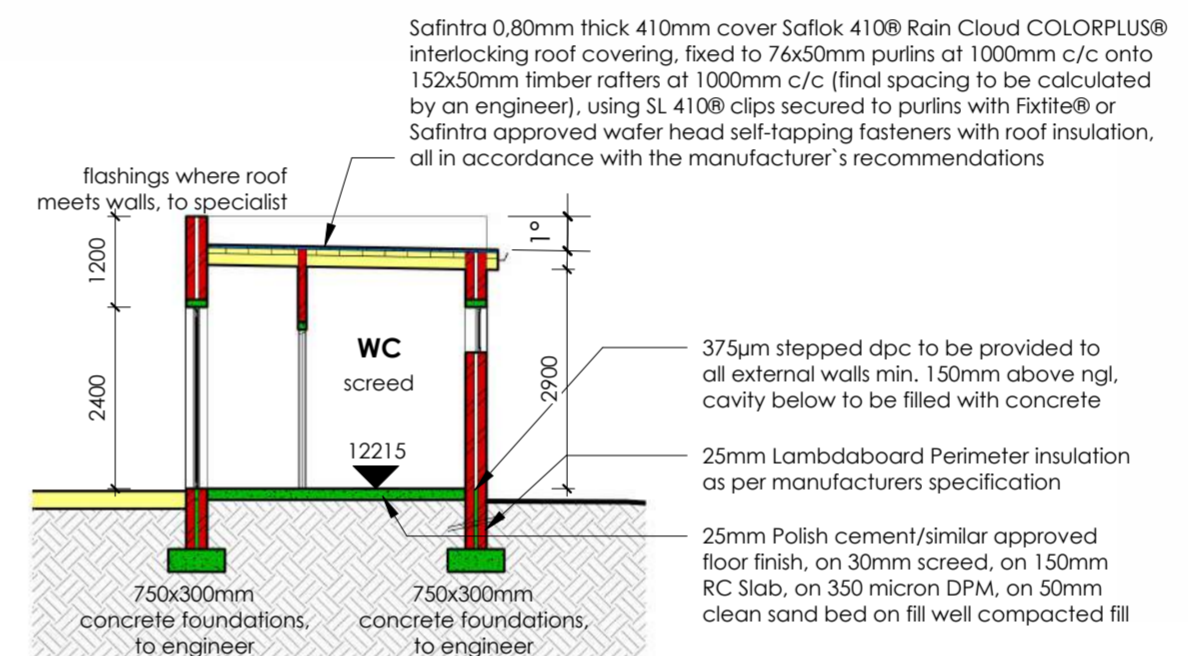
LAMBDABOARD® laminated polyisocyanurate core board with a minimum core density of 34kg/m³, minimum thickness of 60 mm; in widths of 1.220m with a 2.5(Km²/W) R-Value. Finish shall be White Mineral and Mineral Natural laminated on each side. Lambdaboard to be installed using H & T - Sections fixed to underside of roof purlins in accordance with manufacturer's specification with purlins spaced at less than 1200mm centres and secured to each rafter with 38mm x 3.2mm x 1100mm hardboard counter batten strips positioned flush with the bottom edge of the material thus leaving 150mm overlap exposed at the top for the next layer and 150mm overlap thereafter on each 1250mm width roll. As per manufacturer's specification



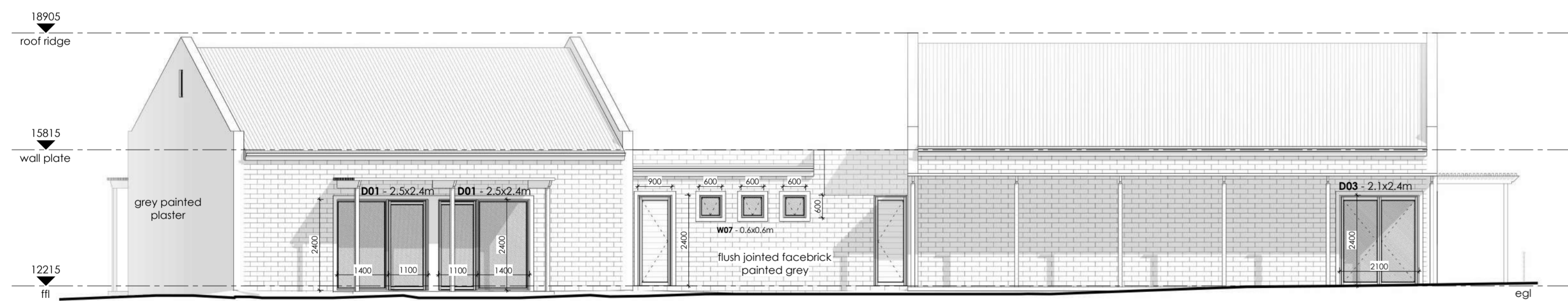
section A - A
scale | 1 : 100



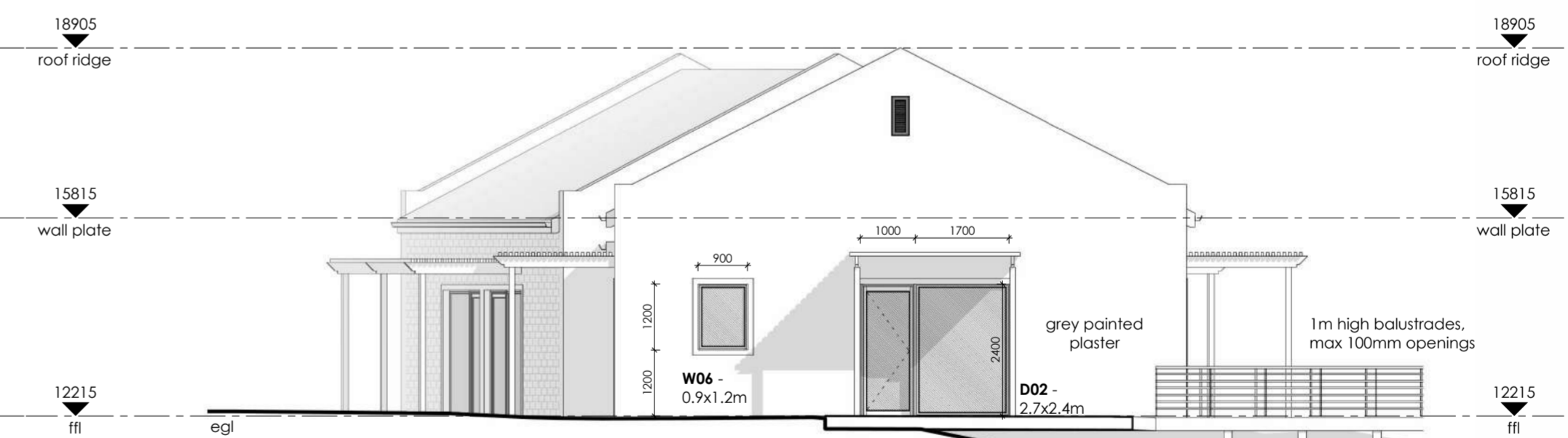
section B - B
scale | 1 : 100



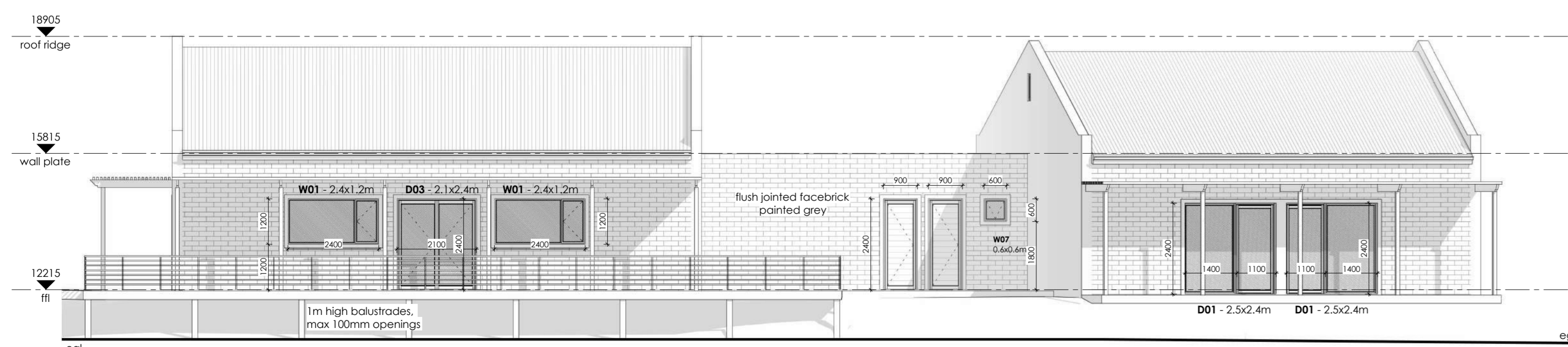
section C - C
scale | 1 : 100



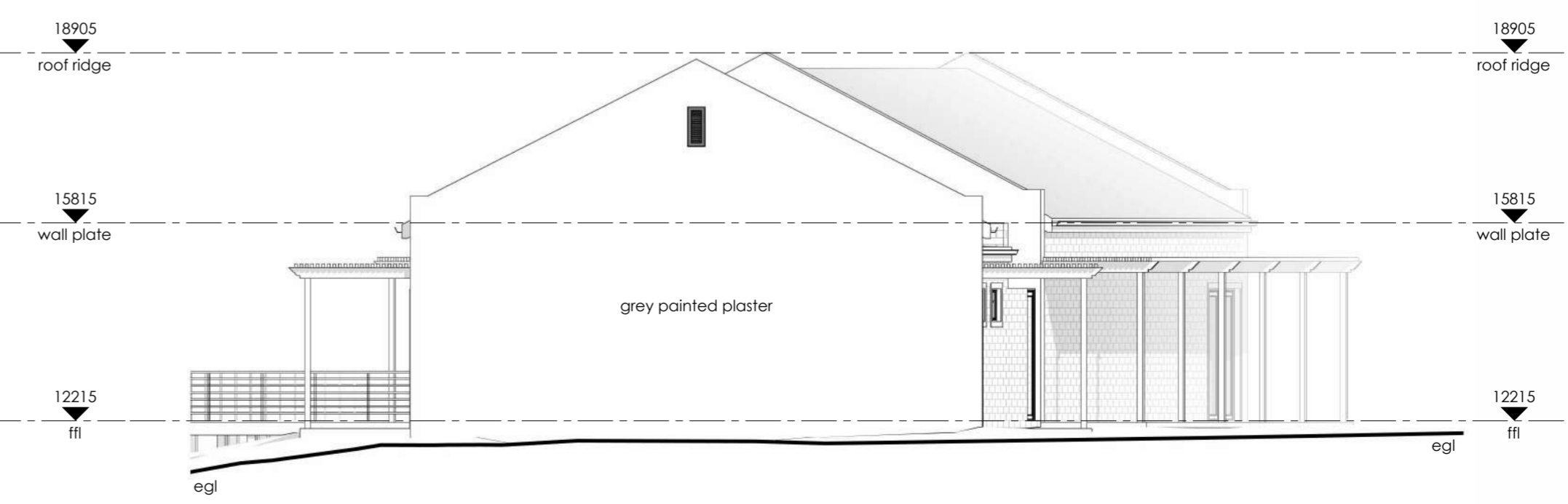
south east elevation
scale | 1 : 100



north east elevation
scale | 1 : 100



north west elevation
scale | 1 : 100



south west elevation
scale | 1 : 100

locality plan



general - take note

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owner:

other:

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The Milkwoods Centre

project	house owner - ERF 5976
	teubes road
	kommetjie
retail 1 & 2	292m²
retail 3, 4 & 5	1220m²
refuse	24m²
footprint	1536m²
site	5474m²
coverage	28%
zoning	GB1
pergolas	95m²
timber decking	220m²
GLA	1340m²
parking bays	63 bays

sheet info

title Retail 1 & 2_sections | elevations

date July 2025

scale as shown @ A1

drawn f van dijk

checked s campbell

stage council sub

FENESTRATION RATIONAL DESIGN --- RETAIL SPACE 3

CLIMATIC ZONE		2	
STOREY	NET FLOOR AREA/m ²		
GROUND	600		
WINDOWS			
No of Window Types		5	
TOTAL WINDOW AREA			
32,96			
TYPE NR.	QUANTITY	WIDTH/m	HEIGHT/m
D04	1	5,3	2,4
SINGLE WINDOW AREA/m ²		12,72	
6,36			
TYPE NR.	QUANTITY	WIDTH/m	HEIGHT/m
D05	1	2,65	2,4
SINGLE WINDOW AREA/m ²		6,36	
4,86			
TYPE NR.	QUANTITY	WIDTH/m	HEIGHT/m
W02	1	4,05	1,2
SINGLE WINDOW AREA/m ²		4,86	
5,59			
TYPE NR.	QUANTITY	WIDTH/m	HEIGHT/m
W03	1	4,66	1,2
SINGLE WINDOW AREA/m ²		5,59	
3,43			
TYPE NR.	QUANTITY	WIDTH/m	HEIGHT/m
W04	1	2,56	1,2
SINGLE WINDOW AREA/m ²		3,43	
5,49			
total fenestration area			
Net Glazing % 5,49			
ORIENTATION			
orientation	U-value	SHGC	
south, south-east, south-west	Any Solution	Any Solution	
north, north-east, north-west, east, west	Any Solution	Any Solution	

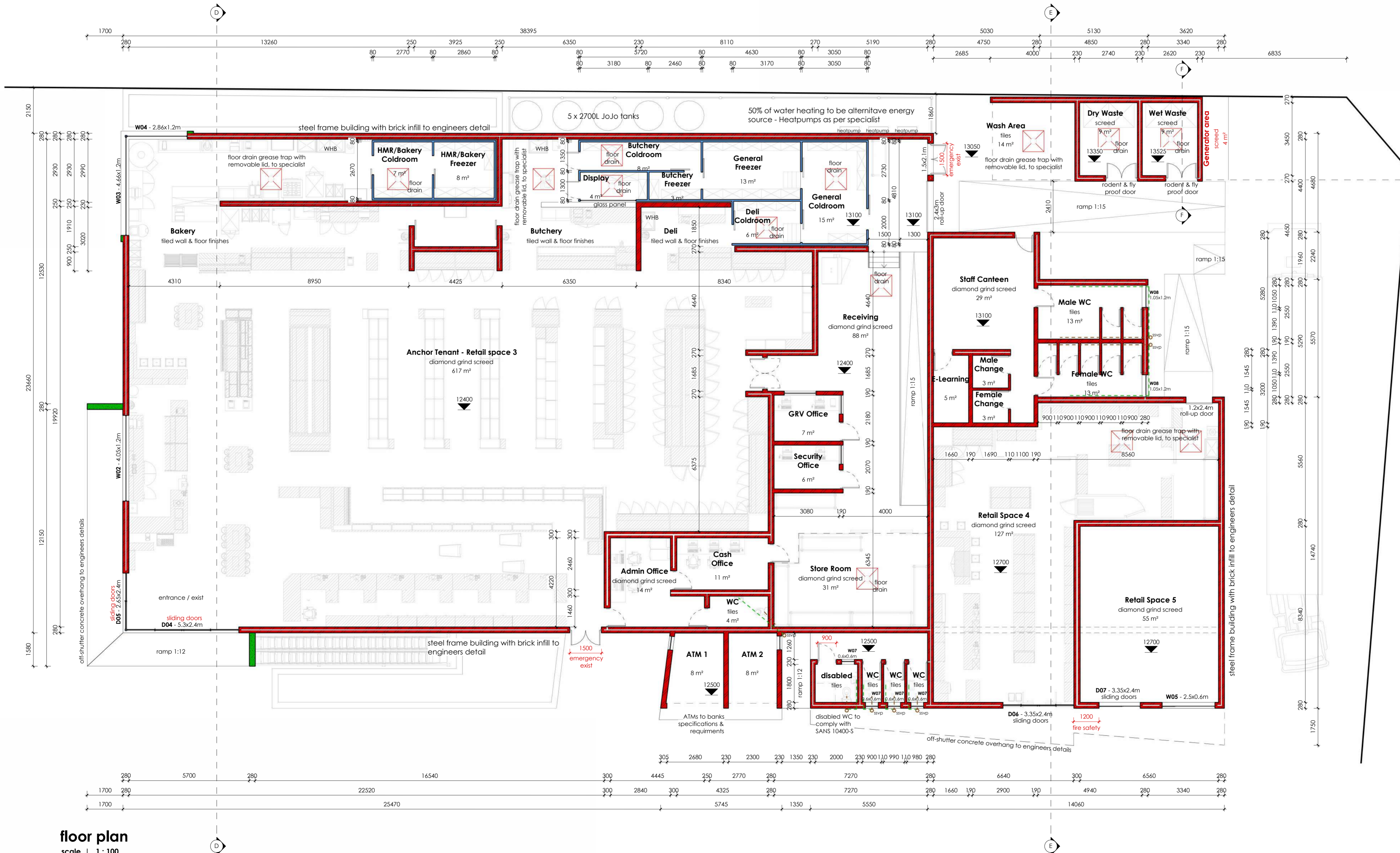
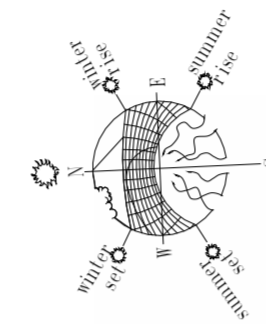
FENESTRATION RATIONAL DESIGN --- RETAIL SPACE 4

CLIMATIC ZONE		2	
STOREY	NET FLOOR AREA/m ²		
GROUND	127		
WINDOWS			
No of Window Types		1	
TOTAL WINDOW AREA			
8,04			
TYPE NR.	QUANTITY	WIDTH/m	HEIGHT/m
D06	1	3,35	2,4
SINGLE WINDOW AREA/m ²		8,04	
8,04			
total fenestration area			
Net Glazing % 6,33			
ORIENTATION			
orientation	U-value	SHGC	
south, south-east, south-west	Any Solution	Any Solution	
north, north-east, north-west, east, west	Any Solution	Any Solution	

FENESTRATION RATIONAL DESIGN --- RETAIL SPACE 5

CLIMATIC ZONE		2	
STOREY	NET FLOOR AREA/m ²		
GROUND	35		
WINDOWS			
No of Window Types		2	
TOTAL WINDOW AREA			
6,18			
TYPE NR.	QUANTITY	WIDTH/m	HEIGHT/m
D07	1	1,95	2,4
SINGLE WINDOW AREA/m ²		4,68	
4,68			
TYPE NR.	QUANTITY	WIDTH/m	HEIGHT/m
W05	1	2,5	0,6
SINGLE WINDOW AREA/m ²		1,5	
1,50			
total fenestration area			
Net Glazing % 11,24			
ORIENTATION			
orientation	U-value	SHGC	
south, south-east, south-west	Any Solution	Any Solution	
north, north-east, north-west, east, west	Any Solution	Any Solution	

stamp of approval - council



locality plan

general - take note

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signature

owner:

other:

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07040 | westerngruppeproperties | ERF 5976

The Milkwoods Centre

project	house owner - ERF 5976
	teubes road
	kommetjie
retail 1 & 2	292m ²
retail 3, 4 & 5	1220m ²
refuse	24m ²
footprint	1536m ²
site	5474m ²
coverage	28%
zoning	GB1
pergolas	95m ²
timber decking	220m ²
GLA	1340m ²
parking bays	63 bays

sheet info

title	Retail 3, 4 & 5 floor plan
date	july 2025
scale	as shown @ A1
drawn	f van dijk
checked	s campbell
stage	council sub
these are municipal drawings only and may not be used as working drawings	
page	4 of 6

stamp of approval - council



3D views

scale |



specification - local authority

foundations
to be concrete strip foundations, minimum 750mm x 300mm and/or to engineer, internal non-loadbearing walls to have 600mm x 200mm slab thickening unless otherwise specified by engineer, foundations not to project beyond boundaries, water to be taken away from foundations & towards roadside, all column/pad foundations to engineers detail.

foundation walls
to have 2,5 he-wires per m² and cavity below dpc to be filled with concrete, provide expansion joints/lateral wall support every 5,5m as required, to engineers detail.

solid floors
tiles, carpet or timber on screed onto 100mm concrete slab on 250 mic dpm (as joined, sealed and turned up around the perimeter and for the full length of the slab on 50mm sand blinding on 150mm clean compacted fill.

structural components
all structural components to be designed and specified by structural engineer, appointed by client and/or contractor, all structural items to be inspected and approved by appointed engineer prior to closing or cover off work.

walls
to comply with SANS 10400-K, 280mm supporting wall with 50mm cavity, 15mm cement brickwork or equal approved with 2,5m wire wall tie's per sqm of wall, stepped dpc to be provided to all external walls, all openings < 3000mm to have precast concrete lintels according to manufacturers spec. ex. allied concrete or equal approved, all openings > 3000mm to have rc beams to engineer where deemed necessary, provide expansion joints/lateral wall support every 5,5m as required, to engineers detail.

wall finishes
smooth plaster & painted grey.

internal walls
to comply with SANS 10400-K, 110mm & 190mm brickwork or equal approved, smooth plastered with 1 coat plaster, skimmed & painted, all colours to owner.

windows
all windows as per aluminium catalogue to be powder coated as per owner, all glazing to comply with requirements of SANS 10400N&XA, side lights to have safety glazing, windows lower 500mm from floor, windows lower than 1800mm above pitch line of stairs to be safety glass.

doors
all external doors as per aluminium catalogue to be powder coated as per owner, all external timber doors to be solid hardwood as per wintert door catalogue, painted to match aluminium doors, all glazing to comply with requirements of SANS 10400N&XA, access doors and side lights to have safety glass.

roof (lean-to roof)
see section notes, flashing and counter flashing to waterproofing specialist, use timber grade 5.

roof (concrete roof)
to strict engineers design and details, to have 40mm screed to fall towards full bore outlet and adequately waterproofed with derbigum sp4 system, concrete roof to be sufficiently insulated in accordance with SANS 10400 regulation.

ceilings
6,4mm rhinoboard ceiling boards, skimmed and painted, fixed to 38 x 38mm timber battens (50x38 at joints) @ 400mm c/c fixed to underside of trusses.

roof insulation
all roofs to be insulated so that a min. r-value of 3,7 is achieved (to comply with SANS 10400-XA:2021 - 5.6) insulation to be:
glass wool blanket (isotherm or similar approved) with a density of 10 - 18 kg/m³ installed.
thickness: min. 135mm
r-value: min. 3,35

roof construction r-values
average r-value of roof structure - 0,35
reflective fall - 0,75
insulation r-value - 3,14
total r-value: - 4,24
conclusion - 135mm glass wool blanket to be installed between trusses/rafters.

concrete roof insulation
insulation to be: isoboard or similar approved stonechips onto 90mm isoboard onto torch-on waterproofing on screed to fall to outlets, onto lightweight rc slab to engineer.
concrete roof assembly - 0,57 (climatic zone 4),
insulation product - 3,429 (90mm isoboard)
total r-value: - 3,999

rainwater goods
125x85mm seamless aluminium o-gee gutters into 75mm uPVC downpipes where required.

joinery
all built in cupboards, vanity units and kitchen cupboards to owner/manufacturer design.

distribution/re-circulation/lighting
refer to electrical layout by owner/contractor, electrical installation to comply with local authority requirements and SANS 10142-1.

plumbing
installation to comply with local authority requirements and SANS 10400.
toilets - dual flush cistern with a 3L & 6L flush taps - max. flow rate of 4L/min
shower heads - max. flow rate of 7L/min
hand was basins to have metering / demand taps

hot water cylinders
geysers to plumbing contractor, to be supplied with fully drained drip tray and overflow pipe, all hot water pipes to be insulated min. R-value 1,00 and HWC to be insulated min. R-value 2,00 as per SANS 10400-XA.

natural ventilation
all habitable rooms to adhere to municipal regulations and SANS 10400 i.t.o. min. 5% of floor area.

natural light
all habitable rooms to adhere to municipal regulations and SANS 10400 i.t.o. up to 10% of net floor area per storey.

mechanical ventilation
to comply with municipal regulations and s.a.n.s. part a, extractor to make min. 10 air changes per hour & 25/s per person, to discharge to outside through wall, ducting constructed of non-combustible material, fan not to be connected to artificial lighting system but to remain on for period after w.c. and/or bathroom has been vacated.

drainage
installation to comply with NBR and SANS 10400-P, to be closed system of 8110mm pvc pipes at min 1:40 and max. 1:40 fall, first inspection eye to be minimum 450mm below ground level, all vent pipes to be 50mm Ø pvc pipes, all heights pertaining to drainage to be checked and confirmed on site prior to installation, all bends to have min 600mm inside radius, all drains below building & driveway to be encased clean sand binding.

locality plan



general - take note

appointed as architectural professional to work stage 4.1 (documentation to achieve municipal approval only).

no liability will be accepted for work during construction, full liability and responsibility will be for the owner or builder, contractor to check and confirm all dimensions and levels prior to the setting out of the works, use figured dimensions, do not scale, any discrepancies in dimensions or specs are to be reported to the designer immediately for clarification, setting out to be done from the surveyors pegs, all work to comply with s.a.n.s. 10400 codes and local authority rules, regulations and requirements, this spec is intended to supplement the nbr and the nbr takes precedence.

copyright subsists over this drawing and remains property of the designers.

signature

owner:

other:

02 07 2025	00	munic drawings	fvd

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07040 | westerngruppeproperties | ERF 5976

The Milkwoods Centre

project	house owner - ERF 5976
	teubes road
	kommetjie
retail 1 & 2	292m ²
retail 3, 4 & 5	1220m ²
refuse	24m ²
footprint	1536m ²
site	5474m ²
coverage	28%
zoning	GB1
pergolas	95m ²
timber decking	220m ²
GLA	1340m ²
parking bays	63 bays

sheet info

title **Retail 3, 4 & 5_roof plan**

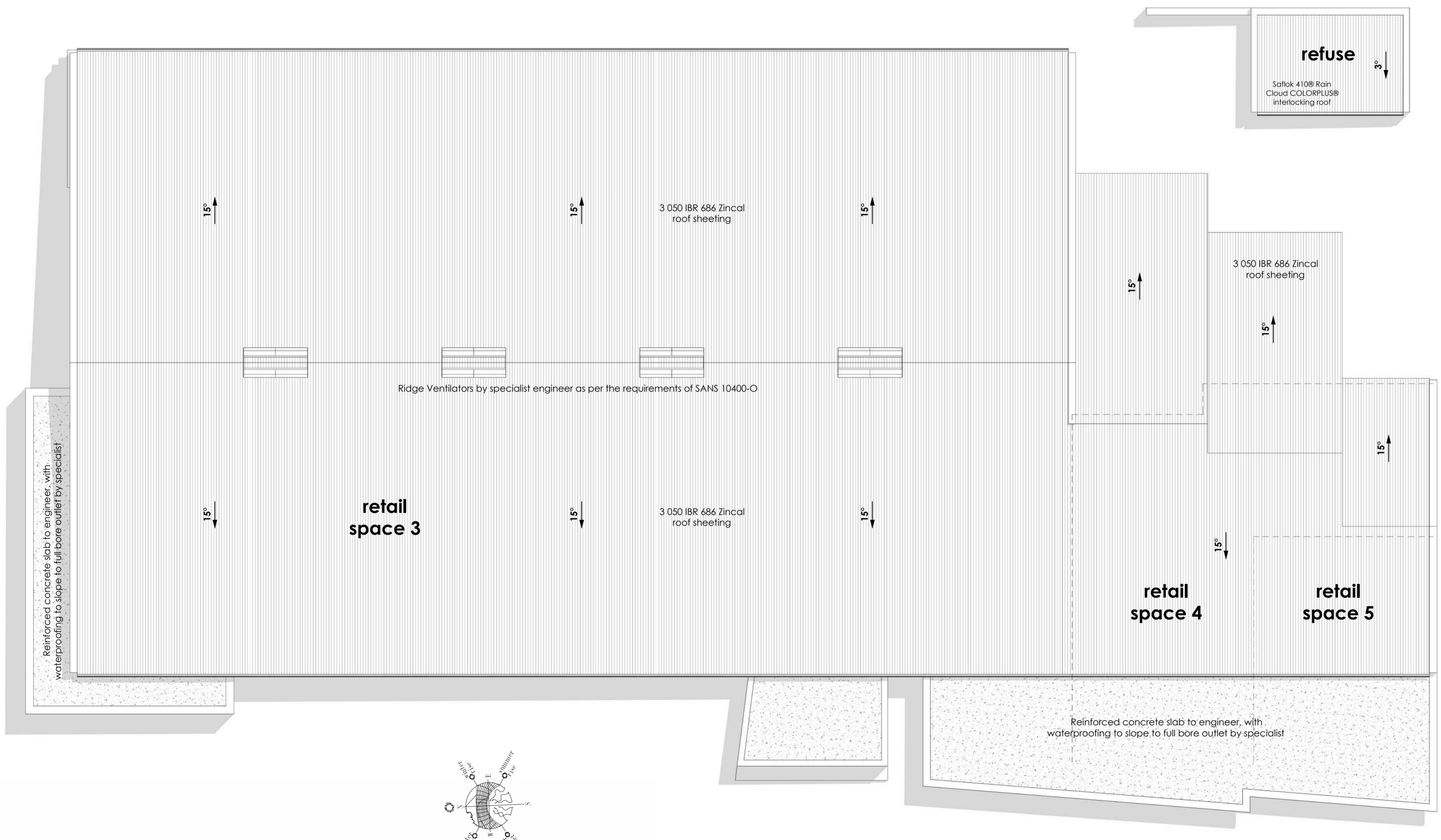
date **july 2025**

scale **as shown @ A1**

drawn **f van dijk**

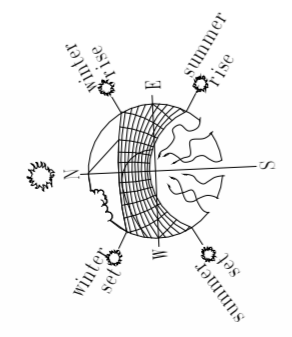
checked **s campbell**

stage **council sub**



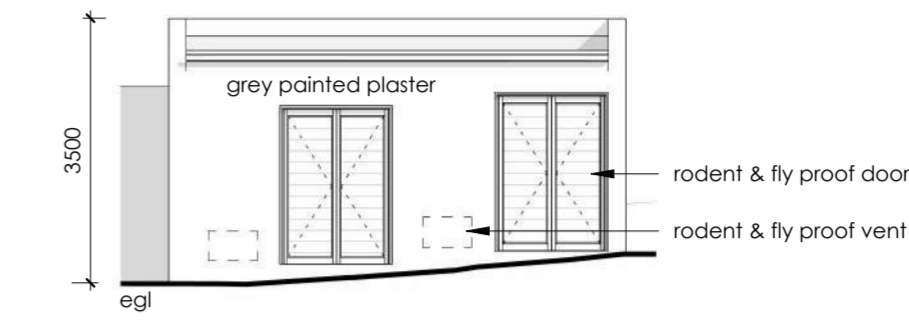
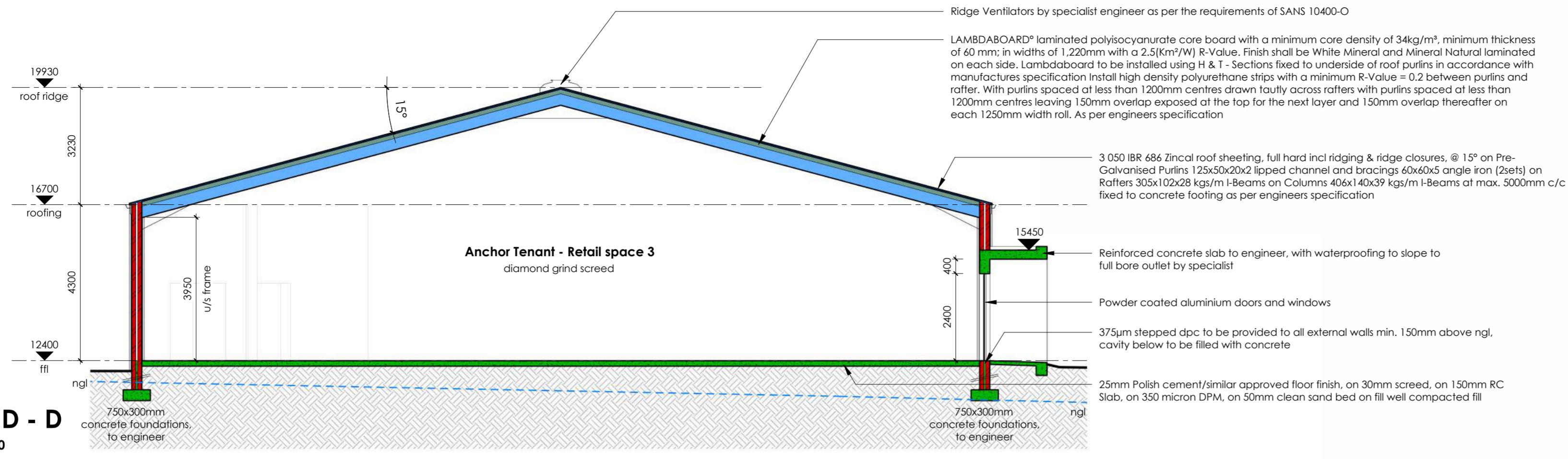
roof plan

scale | 1 : 100



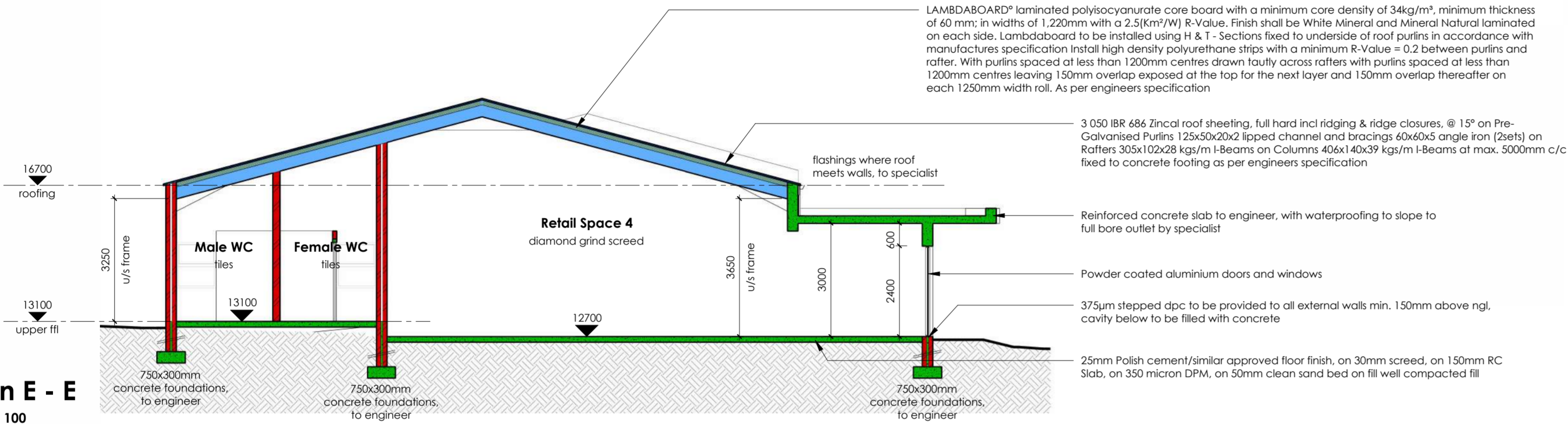
stamp of approval - council

section D - D
scale | 1 : 100

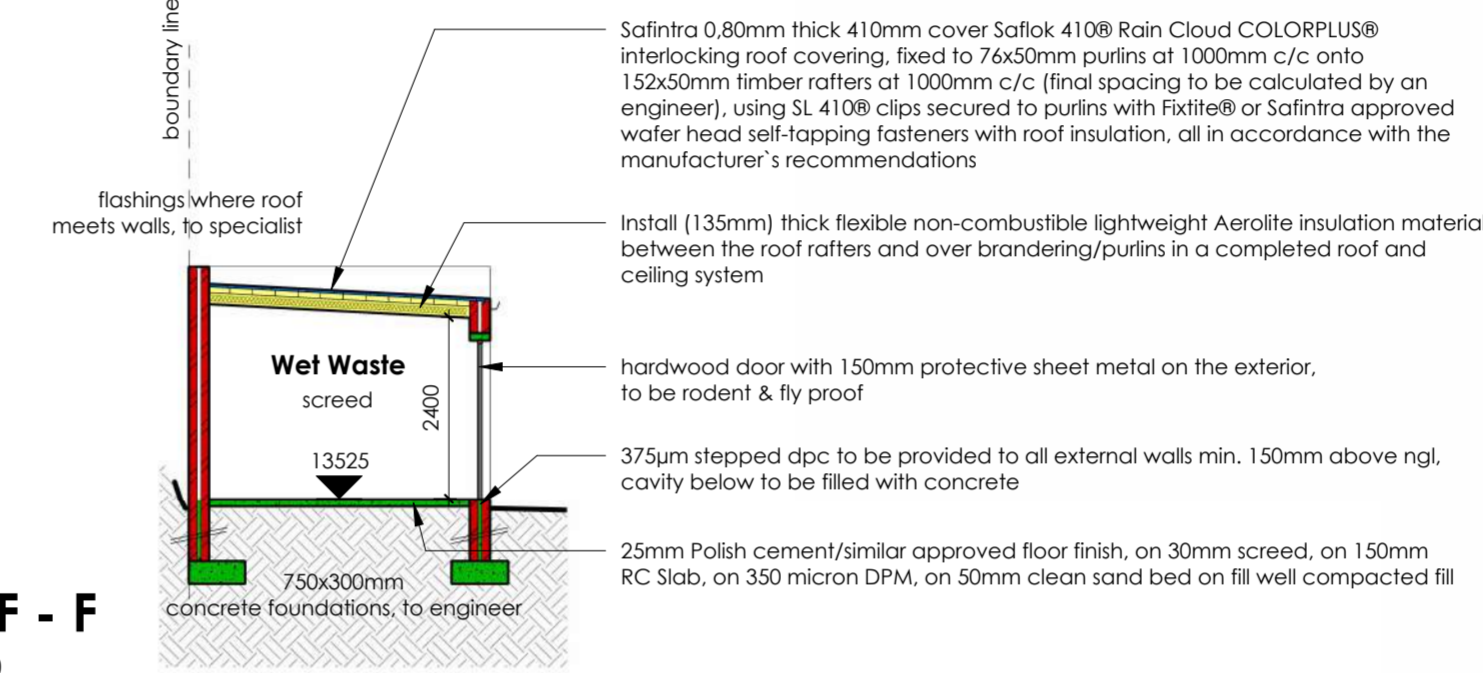


west elevation
scale | 1 : 100

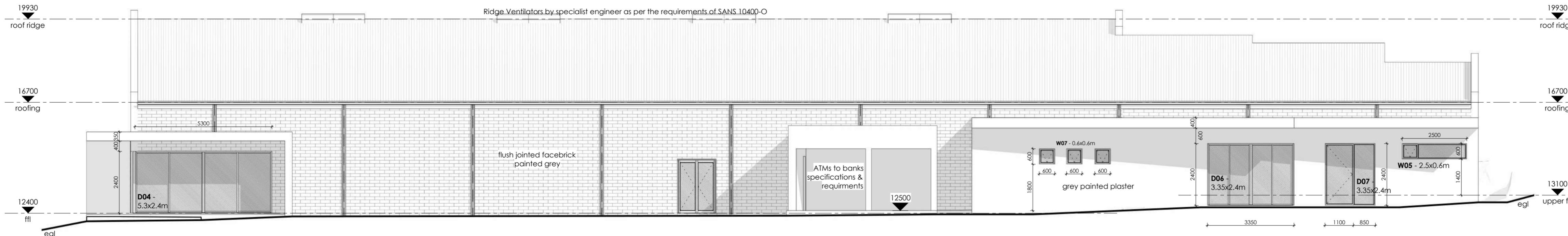
section E - E
scale | 1 : 100



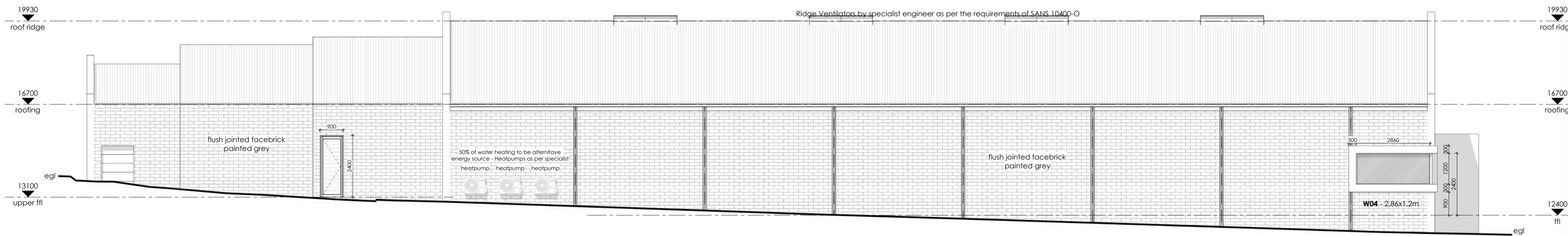
section F - F
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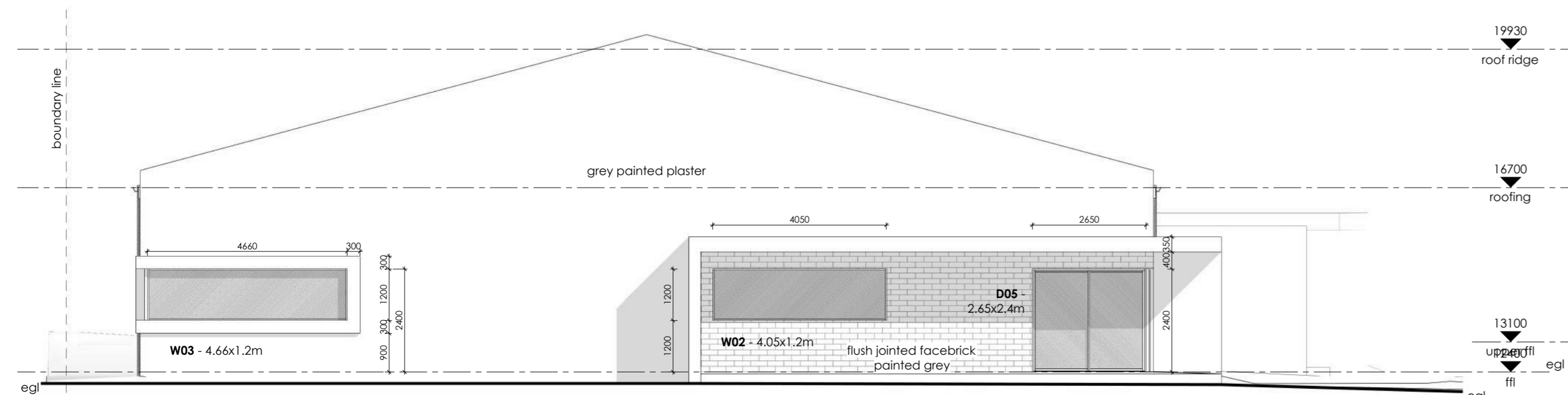
west elevation
scale | 1 : 100



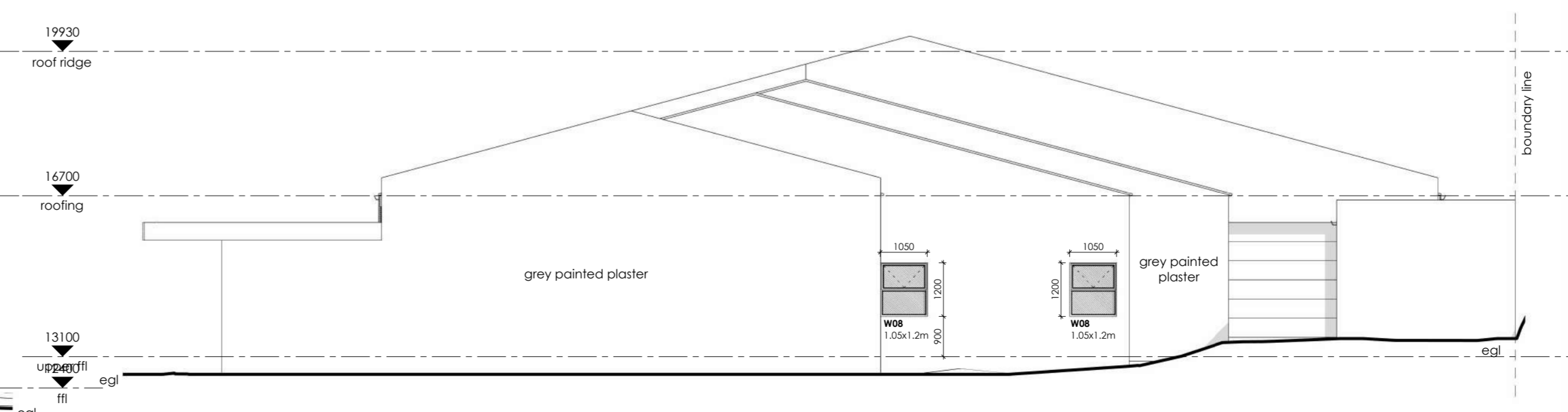
east elevation
scale | 1 : 100



north elevation
scale | 1 : 100



south elevation
scale | 1 : 100



general - take note

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sheet info

title Retail 3, 4 & 5_sections | elevations
date July 2025
scale as shown @ A1
drawn f van dijk
checked s campbell
stage council sub